

Construction Drawings

Proposed New Build at Olivine Boulevard

The client came to us with a new building project. After conducting a planning assessment with one of our certified town planners, it was determined that the construction of the new dwelling was possible. To proceed, we would need to obtain planning permission through the submission of a householder planning application. We then prepared the architect drawings, which were reviewed and approved by the client. Once the architectural design was approved, one of our certified town planners prepared a planning statement to support the case for why the council should grant planning permission.



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01 - DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.

02 - THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY LAWS AND TOWN PLANNING REQUIREMENTS, AND REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

03 - ALL WORKS SHALL COMPLY WITH BUT NOT TO BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS.
 A.S 1288-GLASS IN BUILDINGS-SELECTION AND INSTALLATION.
 A.S 1562-DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. PART 1 METAL.
 A.S 1684-NATIONAL TIMBER FRAMING CODE.
 A.S 1860-RESIDENTIAL TIMBER FRAMING CODE.
 A.S 2047-WINDOWS IN BUILDINGS-SELECTION AND INSTALLATION.
 A.S 2049-ROOF TILES.
 A.S 2050-INSTALLATION OF ROOFING TILES.
 A.S 2870-RESIDENTIAL SLABS AND FOOTINGS CONSTRUCTION.
 A.S 2904-DAMP PROOF COURSES AND FLASHINGS.
 A.S 3600-CONCRETE STRUCTURES.
 A.S 3660 1-2000 PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES-PART 1 NEW BUILDINGS.
 A.S 3700-MASONRY STRUCTURES.
 A.S 3740-WATER PROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
 A.S 3786 SMOKE ALARMS.
 A.S 4100-STEEL STRUCTURES.
 A.S 4256-PLASTIC ROOF AND WALL CLADDING MATERIALS.

04 - THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS, AND DRAWINGS, AND SOIL REPORTS.

05 - FOOTING TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.

06 - WHERE THE BUILDING (OTHER THAN A CLASS 10A) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.

07 - SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES.

- 1) ALL ROOMS -WITHIN 500MM VERTICAL OF THE FLOOR .
- 2) BATHROOMS-WITHIN 1500MM VERTICAL FROM THE BATH BASE.
- 3) LAUNDRY-WITHIN 1200MM VERTICAL FROM FLOOR AND/OR WITHIN 300MM HORIZONTAL FROM DOORS.
- 4) DOOR WAY-WITHIN 300MM HORIZONTAL FROM ALL DOORS. SHOWER SCREENS SHALL GRADE A SAFETY GLASS.

08 - WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.

09 - STORM WATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

10 - SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.

11 - FOOTINGS SHALL NOT ENCR OACH TITLE BOUNDARIES AND EASEMENT LINES.

12 - FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA, ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES, AND STEEL LINTELS, ETC. THAT ARE IMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S 3700-1998 TABLE 2.2. HOT DIPPED GALV. S/LSSS STEEL OR CADMIUM COATED.

13 - ALL WET AREAS TO COMPLY WITH B.C.A.F.1,7 OR A.S.3740_1994 WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800MM ABOVE A FLOOR LEVEL TO SHOWER ENCLOSURES AND 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE WALL.

14 - PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 5000MM CTRS IN EACH DIRECTIONS AND WITHIN 300MM OF ARTICULATION JOINTS

15 - SUB FLOOR VENTS TO PROVIDE A RATE OF 7500MM SQ. CLEAR VENTILATION, PER 1000MM RUN OF EXTERNAL MASONRY WALL AND 2200MM SQ, CLEAR VENTILATION PER 1000MM RUN OF INTERNAL DWARF WALLS

16 - PROVIDE CLEARANCE FROM UNDERSIDE OR BEARER TO FINISHED GROUND LEVEL OF 150MM FOR FLOOR WITH STRIP FLOORING OR 200MM FOR FLOORS WITH PARTICAL BOARD FLOORING

17 - THERMAL INSULATION TO BE PROVIDED AS FOLLOW:
 FOR SLAB CONSTRUCTION (REFER TO ENERGY RATING REPORT)
 FOR TIMBER FRAMED FLOOR ENCLOSED PERIMETER (REFER TO ENERGY RATING REPORT)
 NOTE R.F.L TO HAVE FLAMMABILITY INDEX NOT EXCEEDING 5.

18 - STAIR REQUIREMENTS (OTHER THAN SPIRAL STAIRS)
 RISERS - 190MM MAXIMUM & 115MM MINIMUM;
 GOING - 355MM MAXIMUM & 240MM MINIMUM;
 PRIVATE STAIRS (AND 250MM FOR PUBLIC STAIRS)
 RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.
 PROVIDE NON-SLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSINGS.
 ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125MM OR USE CLOSED RISERS.
 PROVIDE CONTINUOUS HANDRAIL 1000MM MINIMUM HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR MORE ABOVE GROUND LEVEL.
 865MM MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSING AND LANDINGS.
 MAXIMUM OPENING BETWEEN BALUSTERS NOT TO EXCEED 125MM.
 IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190MM ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF OR 900 WIDE X 900 LONG, WHICHEVER IS GREATER.

AREA SUMMARY	
ALFRESCO.	12 m ²
GARAGE.	37 m ²
PORCH.	3 m ²
LIVING	159 m ²
GROUND TOTAL	211 m ²
F.F LIVING	179 m ²
BALCONY	9 m ²
FIRST FLOOR LEVEL	187 m ²
GRAND TOTAL	398 m ²

CORNER BOUNDARY FENCING ALONG THE SECONDARY STREET FRONTAGE SHOULD BE 1.8M HIGH TIMBER PALING, LAPPED AND CAPPED WITH EXPOSED POSTS WITH SET BACK FROM THE FRONT FAÇADE BY 4.0M AND STAINED TO SIKKENS CETOL HLSE IN COLOUR WALNUT (010)

LOT AREA: 398 sqm
 SITE COVERAGE: 53 %
 SQUARES: 42.84SQ
 PERMEABILITY: 39.6%



FENCING NOTES:
 ALL FENCING-
 TO BE AS PER DEVELOPERS
 GUIDELINES

WINDOWS
 WINDOWS SHALL BE SELECTED ALUMINIUM FRAMES
 FITTED WITH TIMBER REVEALS-SLIDING TYPE. U.N.O.
 WINDOWS NO'S SHOWN THUS E.G 2109
 -21 INDICATES 2100 HIGH - 09 INDICATES 900 WIDE
 SGD SLIDING GLASS DOOR
 SL SLIDING WINDOW
 FG FIXED GLASS
 DH DOUBLE HUNG
 AW AWNING WINDOW
 CSSD CORNER STACKER SLIDING DOOR
 TOILETS & BATHROOM WINDOWS TO BE GLAZED AS DIRECTED.
 ALUMINIUM FRAMED SLIDING GLASS JOINERY INSTALLED
 IN ACCORDANCE WITH A.S.1288
 INSTALLATION OF GLASS IN BUILDINGS



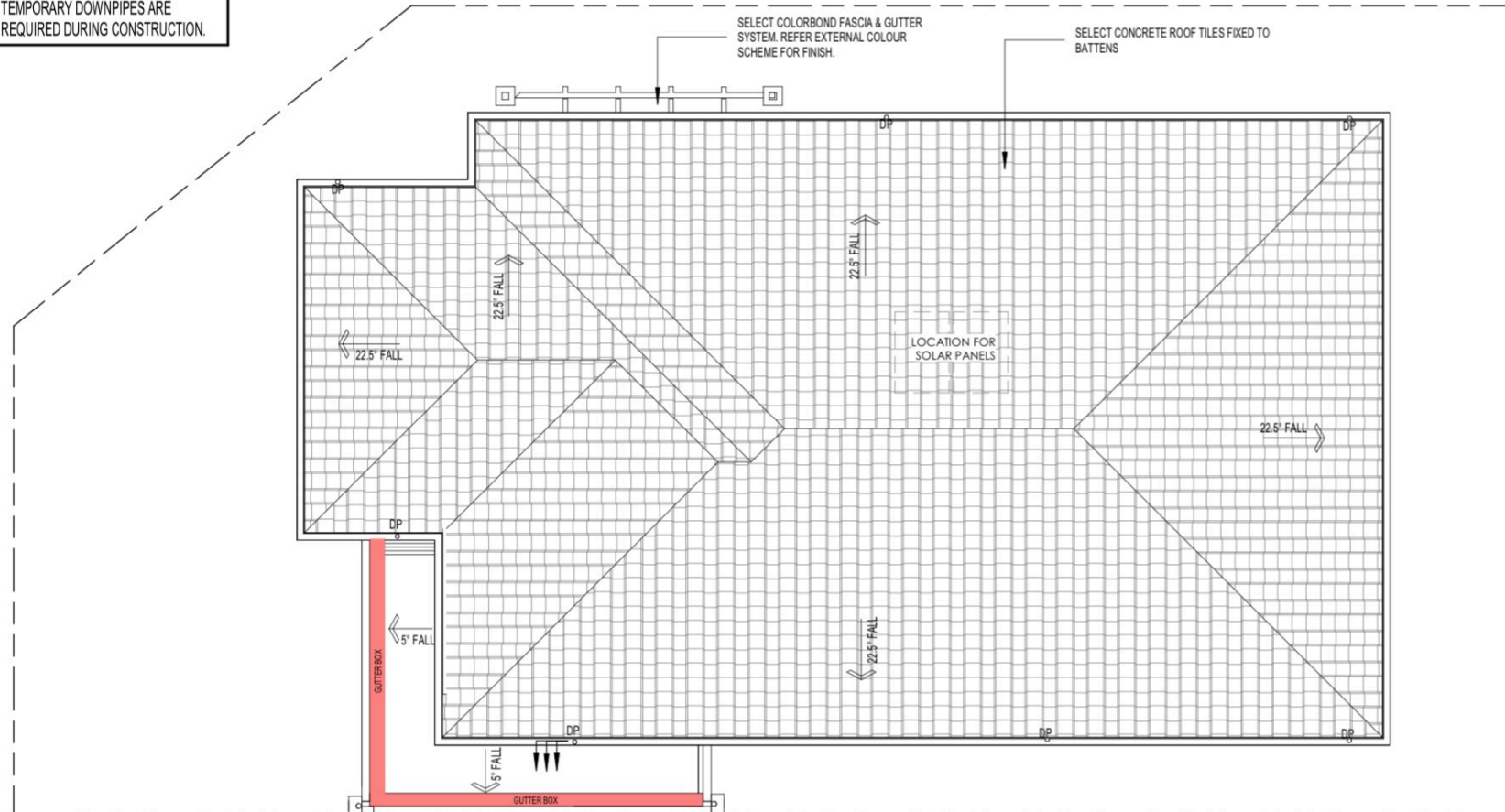
FIRST FLOOR LEVEL
 1 : 100

NOTE:
 ROOF PITCH 22.5° U.N.O
 600 OVERHANGS U.N.O.

STORM WATER DRAINAGE SHOULD COMPLY WITH AS3500.3-2018
 DOWNPIPE DIMENSIONS SHALL BE 100X50MM OR 90 MM DIAMETER

NOTES:
 - GUTTERS AND DOWNPIPES SHALL COMPLY WITH B.C.A 3.5.2
 "GUTTERS AND DOWNPIPES".
 - TEMPORARY DOWNPIPES ARE REQUIRED DURING CONSTRUCTION
 - ROOF CLADDING TO COMPLY WITH B.C.A 3.5.1.

NOTE:
 TEMPORARY DOWNPIPES ARE
 REQUIRED DURING CONSTRUCTION.



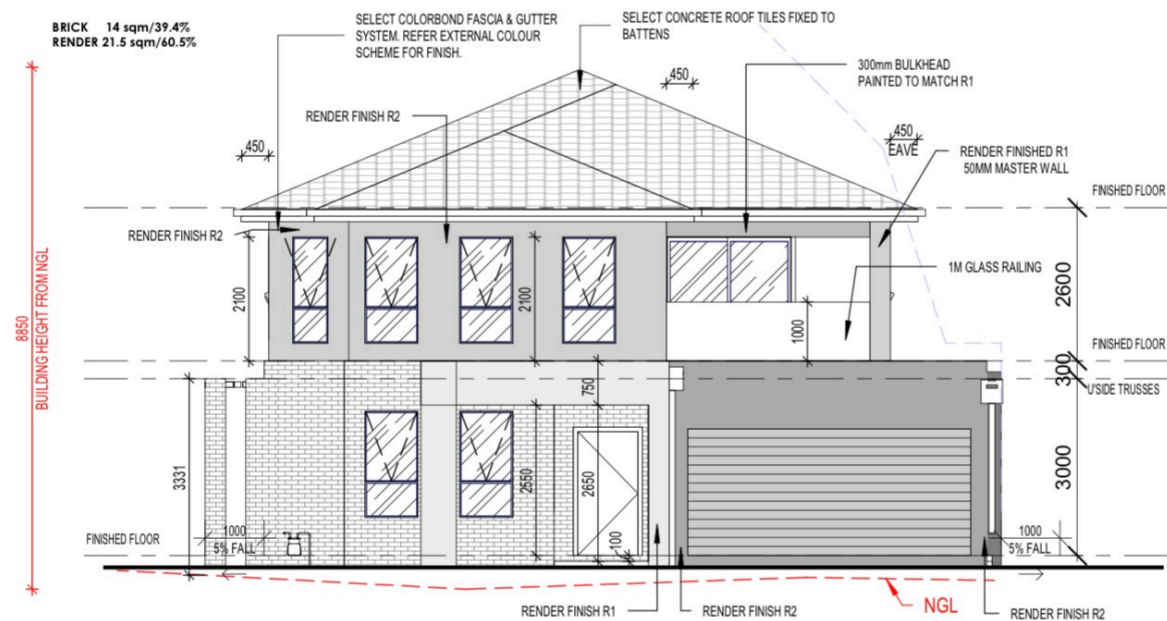
Window Schedule

Mark	Type	Height	Width	Window Style
W1	AW 1809	1800	900	AWNING
W2	AW 1809	1800	900	AWNING
W3	AW 1809	1800	900	AWNING
W4	AW 1812	1800	1200	AWNING
W5	SL2418	2400	1800	SLIDING
W6	AW 0906 (OBS)	900	600	AWNING (OBS)
W7	FG 0912	900	1200	FIXED GLASS
W8	AW1824	1800	2400	AWNING
W9	AW1221	1200	2100	AWNING
W10	AW1221	1200	2100	AWNING
W11	FG 0912	900	1200	FIXED GLASS
W12	AW 1809	1800	900	AWNING
W13	AW 1809	1800	900	AWNING
W14	AW 1809	1800	900	AWNING
W15	AW 1809	1800	900	AWNING
W16	AW 1806	1800	600	AWNING
W17	AW 0906 (OBS)	900	600	AWNING (OBS)
W18	AW1224	1200	2400	AWNING
W19	FG 1812	1800	1200	FIXED GLASS
W20	AW 0924	900	2400	AWNING
W21	AW0924	900	2400	AWNING
W22	AW 0906 (OBS)	900	600	AWNING (OBS)
W23	AW 0906 (OBS)	900	600	AWNING (OBS)
W24	AW1224	1200	2400	AWNING

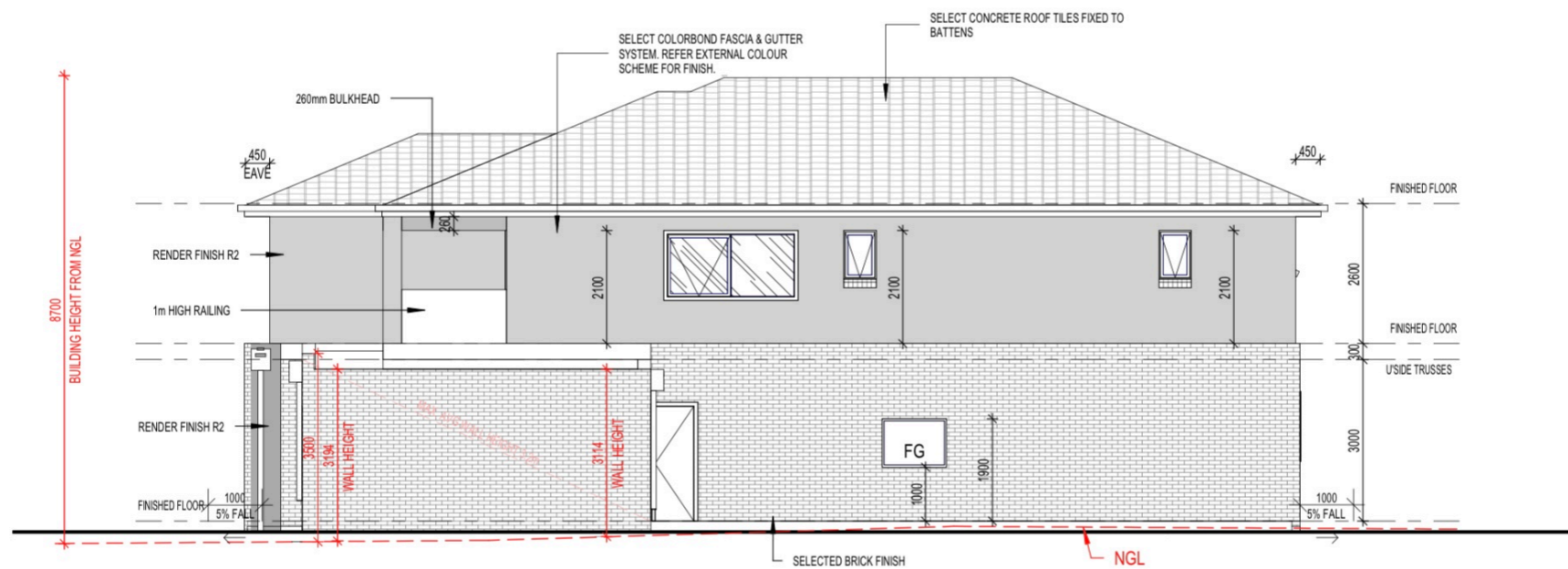
Door Schedule

Mark	Type	Height	Width
D1	SGD 2124	2100	2400

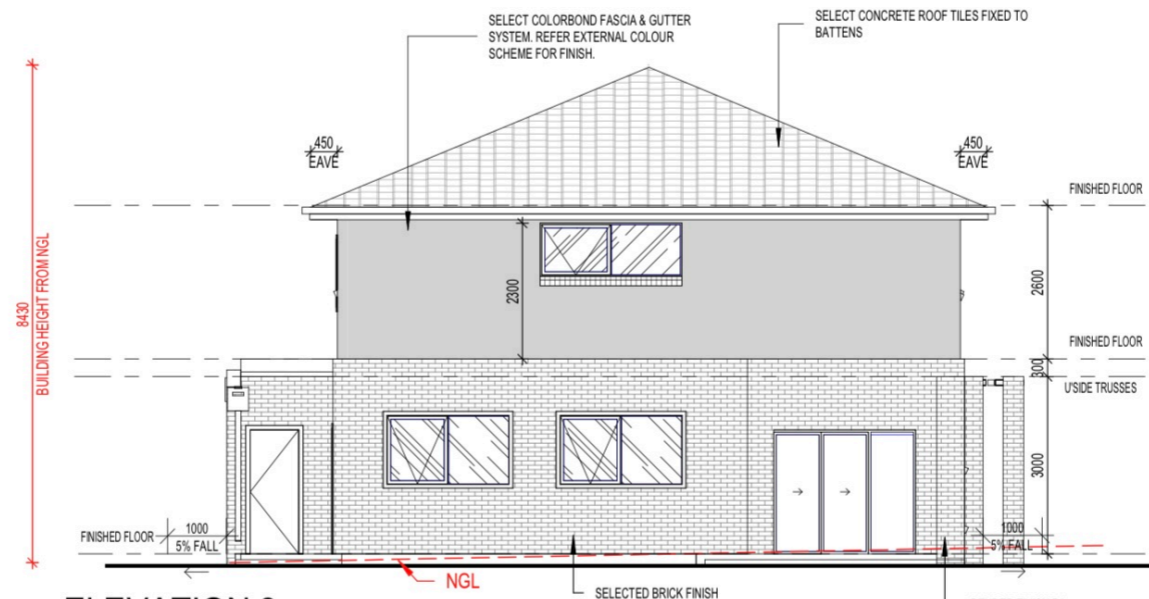
Grand total: 1



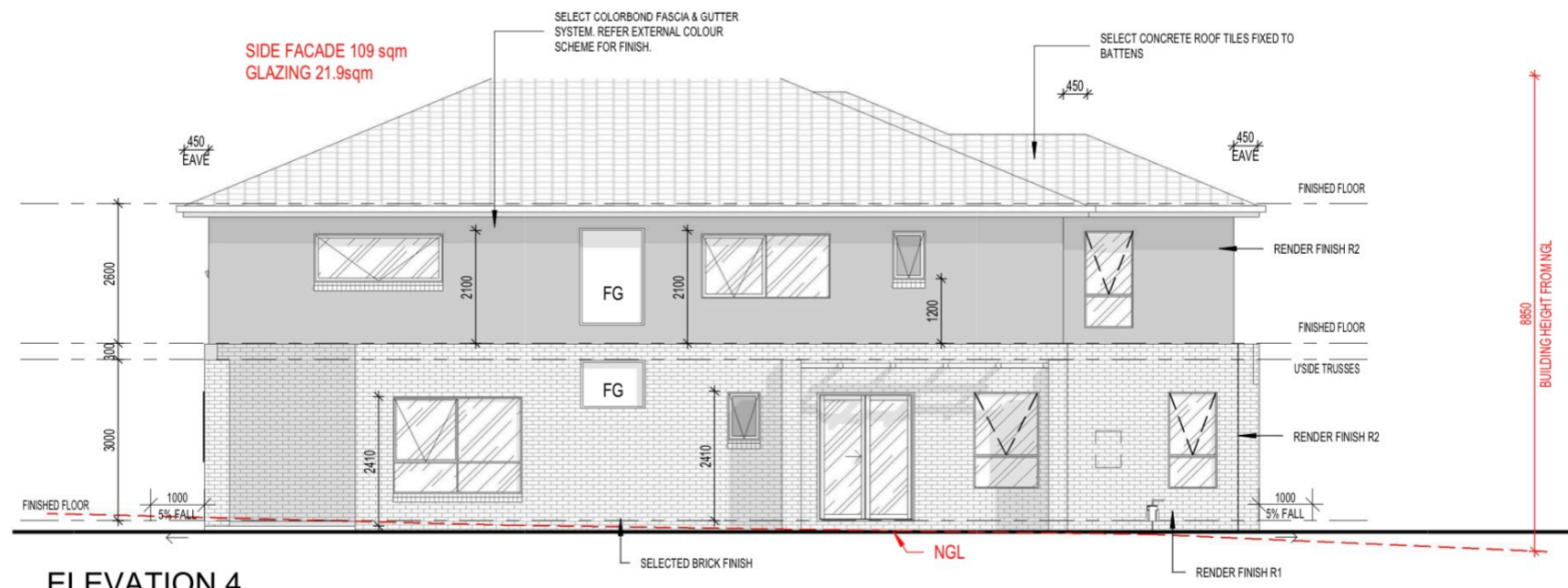
ELEVATION 1
1 : 100



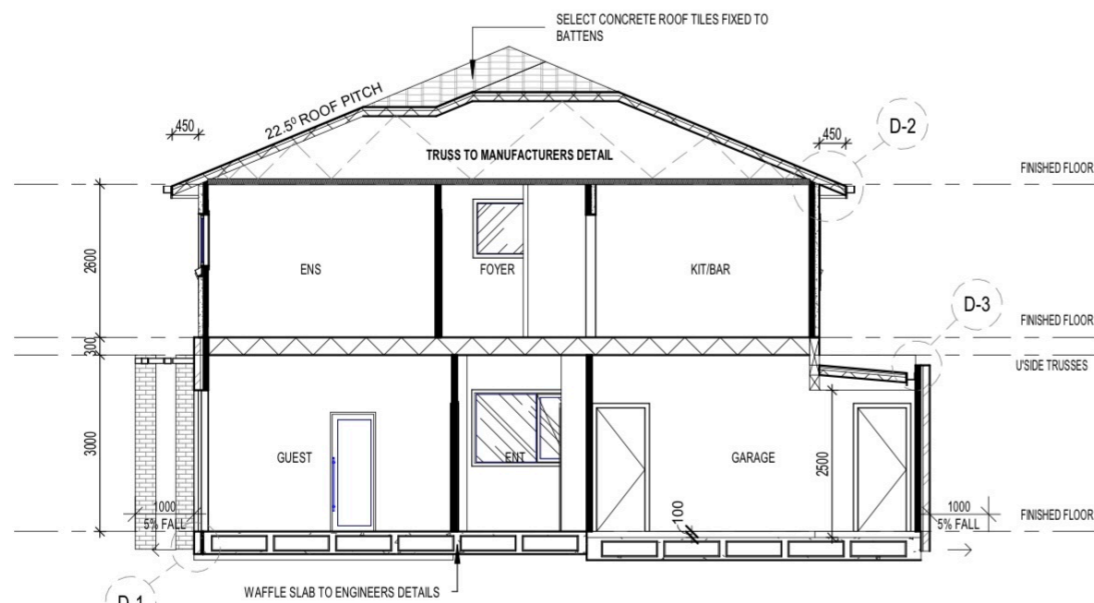
ELEVATION 2
1 : 100



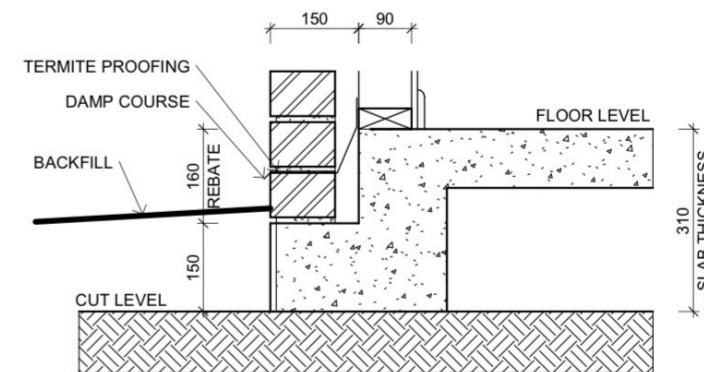
ELEVATION 3
1 : 100



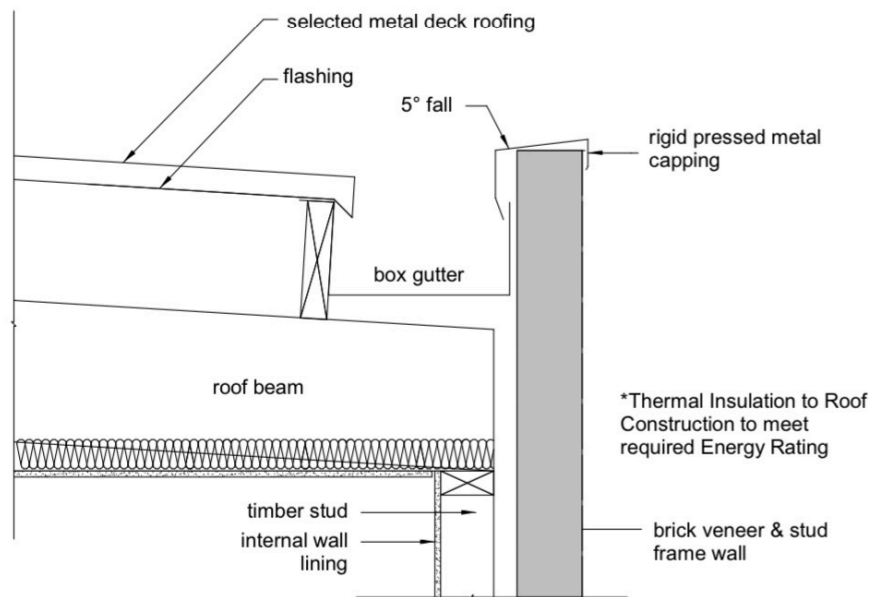
ELEVATION 4
1 : 100



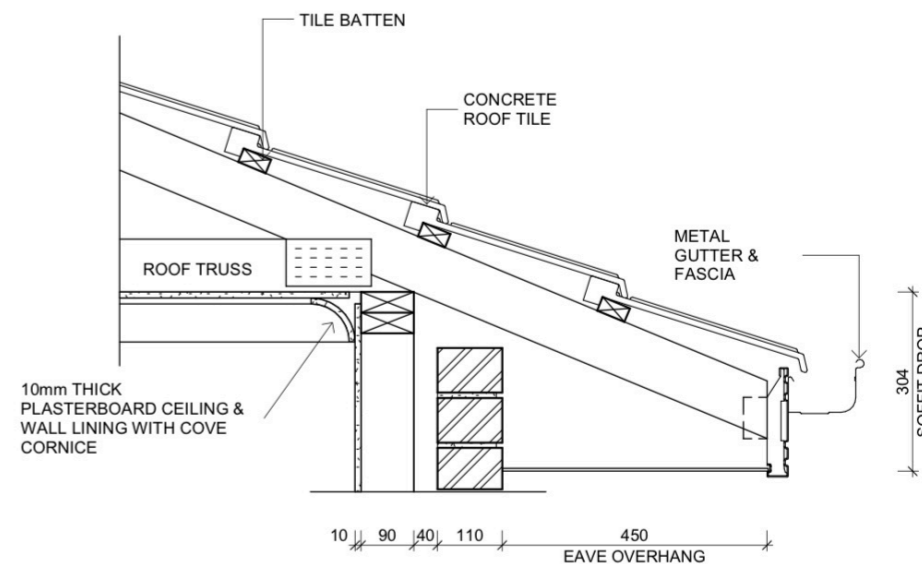
Section 1
1 : 100



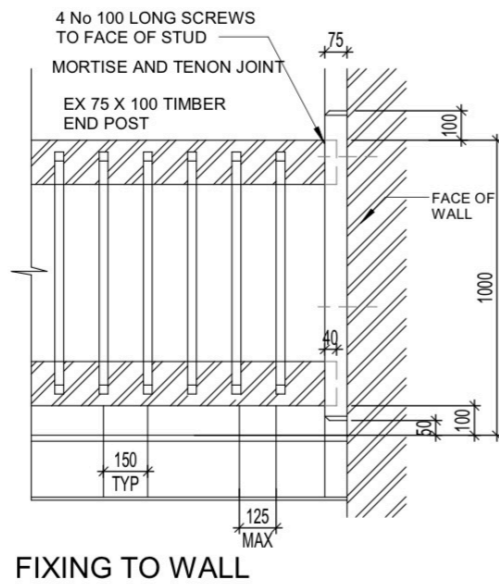
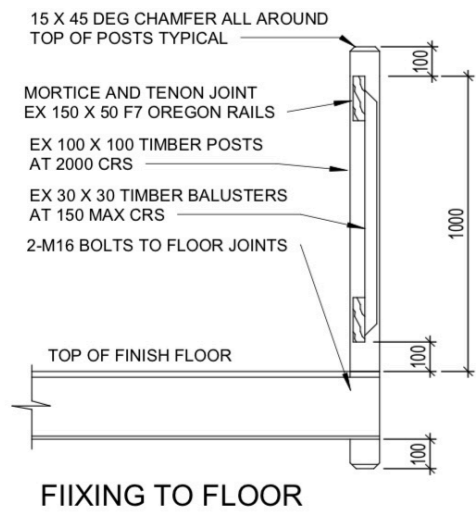
D1
1 : 10



D3
1 : 10
PARAPET DETAIL



D2
1 : 10



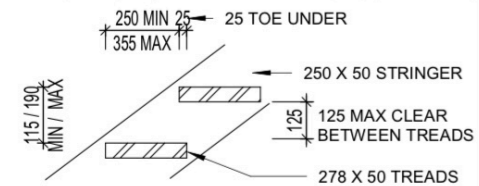
STAIR DETAIL

GENERAL.

THE SIZE OF TREADS AND RISERS SHALL BE CONSTANT AND THE SUM OF 2 TIMES RISER HEIGHT PLUS GOING (2R + G) SHALL BE GREATER THAN 550 AND LESS THAN 700. HANDRAILS SHALL BE AT A MINIMUM HEIGHT OF 865 ABOVE TREAD NOSINGS OR 1000 ABOVE ADJACENT RAMP AND OTHER FLOOR SURFACES. WHERE A HANDRAIL IS NOT ADJACENT TO A WALL PROVIDE A BOTTOM RAIL 125 MAX ABOVE TREAD NOSINGS OR FLOOR. PROVIDE 125 MAX. CLEAR BETWEEN RAIL OR BALUSTERS. HORIZONTAL RAILS SHALL NOT BE PLACED BETWEEN 150 AND 760 ABOVE THE FLOOR OR TREAD NOSINGS. THE WIDTH OF A STAIR (MEASURED CLEAR OF HANDRAILS AND OBSTRUCTIONS) SHALL BE CONSTANT TO A HEIGHT OF 2000 ABOVE TREAD NOSINGS AND LANDINGS.

TIMBER

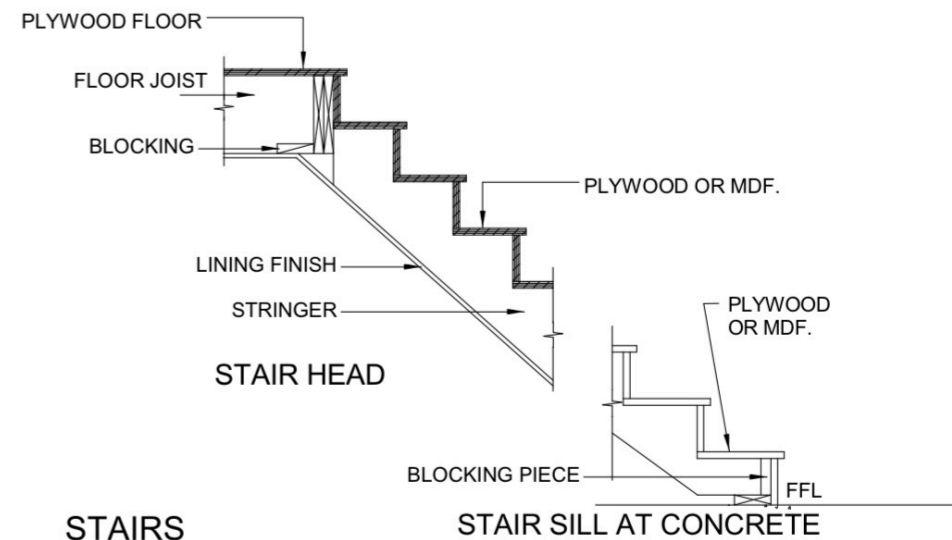
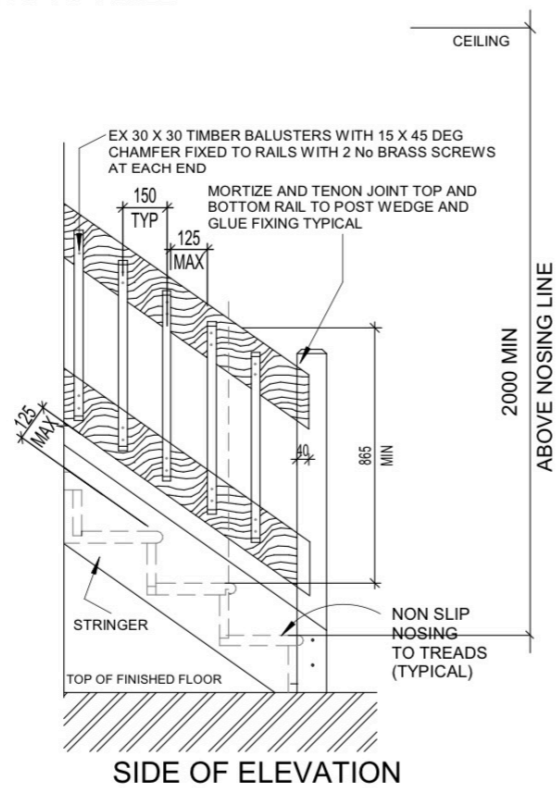
SHALL HAVE A MINIMUM THICKNESS OF 44 MM TO BE NOT LESS THAN 'F5' STRESS GRADE. CHECKING OF TREADS AND STRINGERS SHALL BE ACCURATE AND NOT ALLOW MOVEMENT BETWEEN RECIPROCAL MEMBERS



DETAIL 1:20 SCALE

STAIR DETAIL

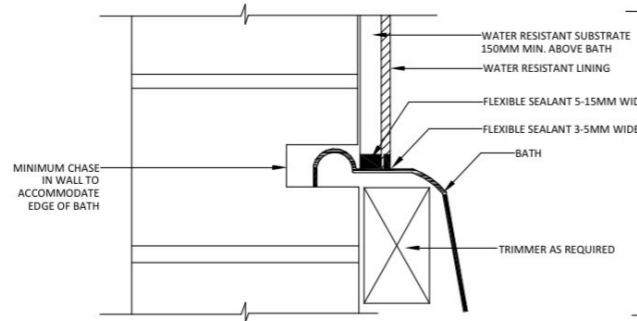
1:20



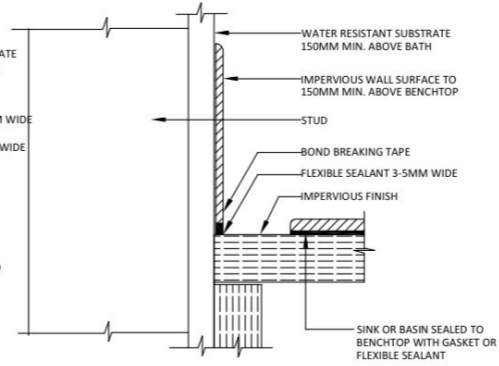
STAIRS

1:20

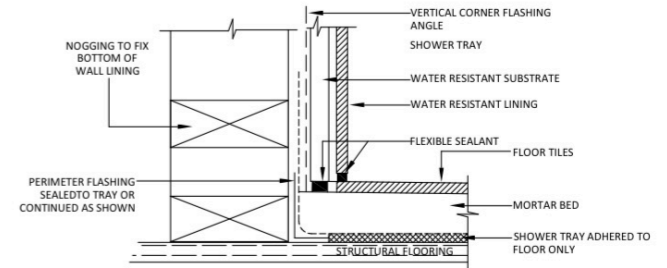
TYPICAL WALL AND BATH JUNCTIONS



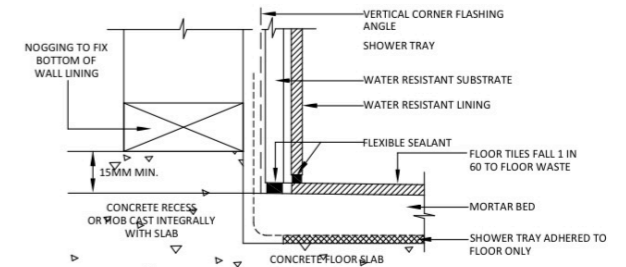
TYPICAL WALL WITH FIXTURES



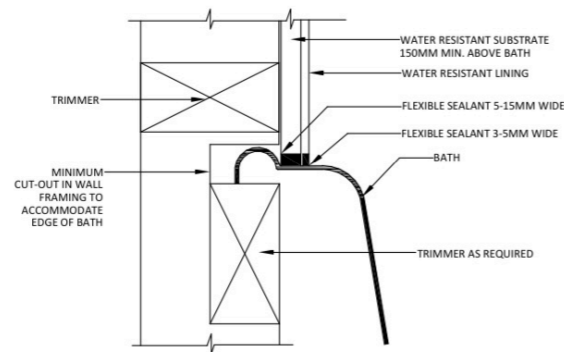
SHOWER ON TIMBER FLOOR



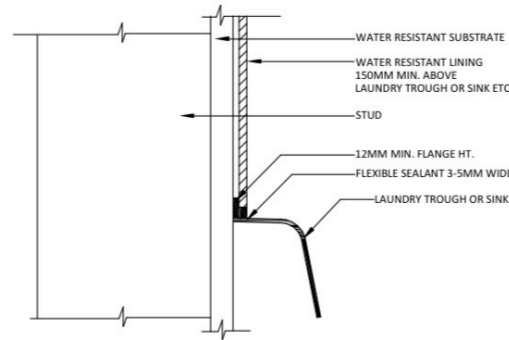
SHOWER ON CONCRETE FLOOR



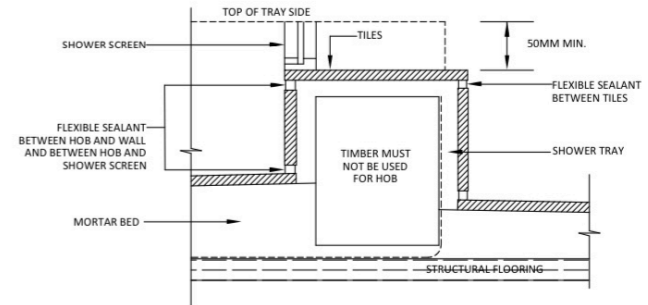
TIMBER WALL JUNCTIONS



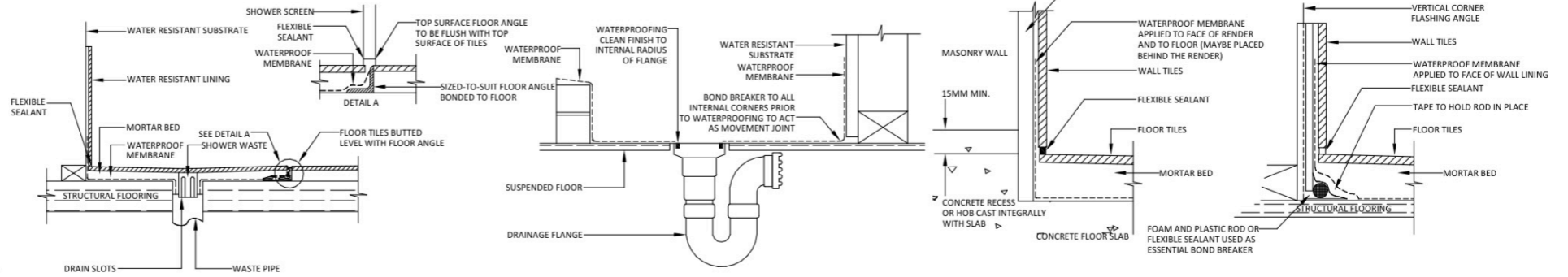
WALL AND LAUNDRY SINK JUNCTIONS



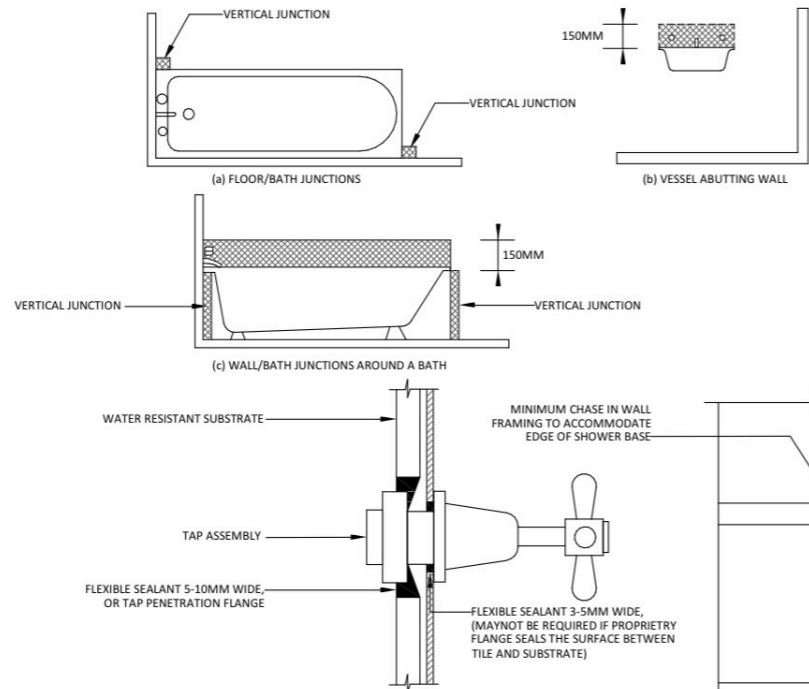
BRICK HOB INSIDE SHOWER



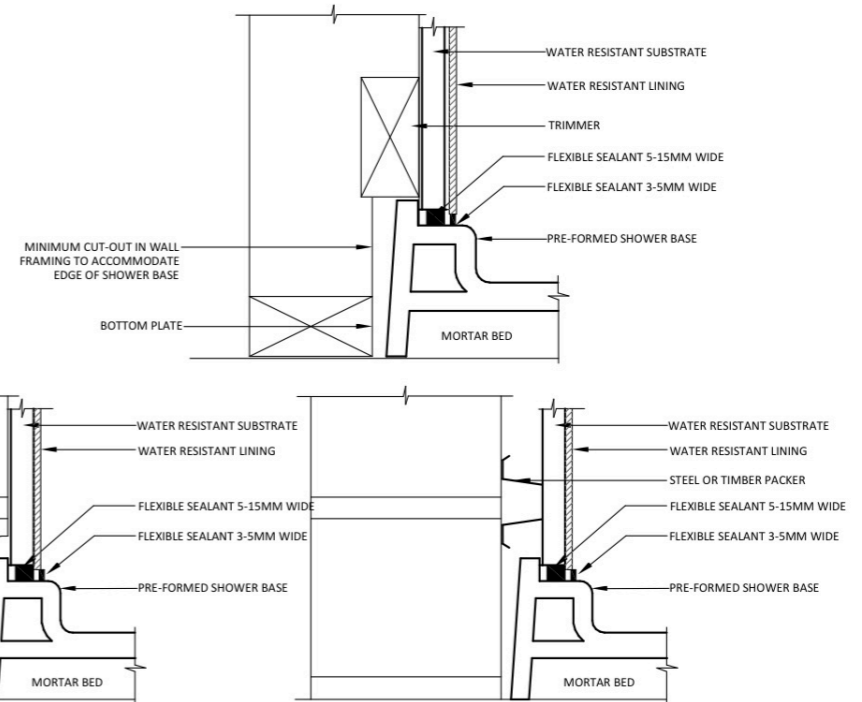
TYPICAL INSTALLATION OF WATER PROOFING MEMBRANE TO SHOWER FLOOR



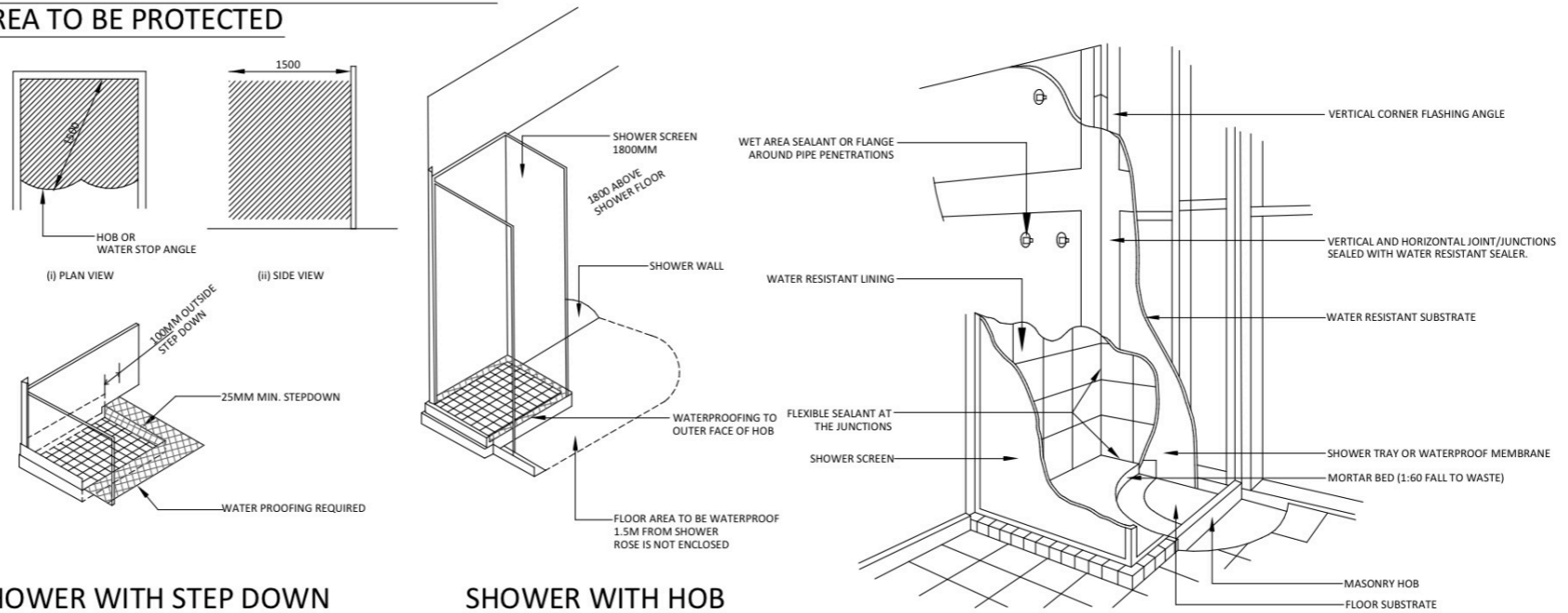
BATH AND WALL FIXTURES - AREA TO BE PROTECTED

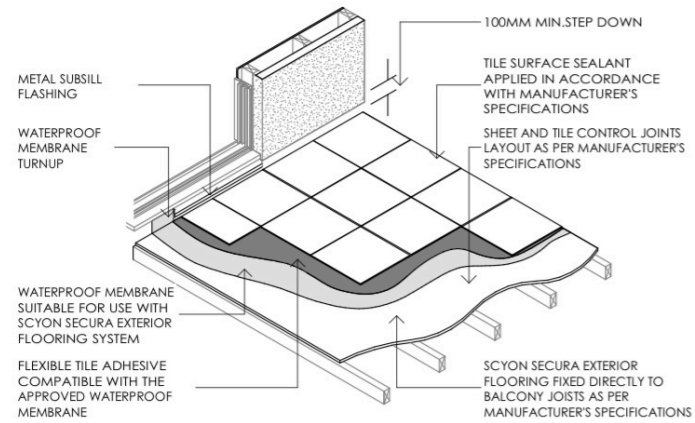


TYPICAL INSTALLATION OF PREFORMED SHOWER TRAYS IN TIMBER FRAMED AND MASONRY WALLS



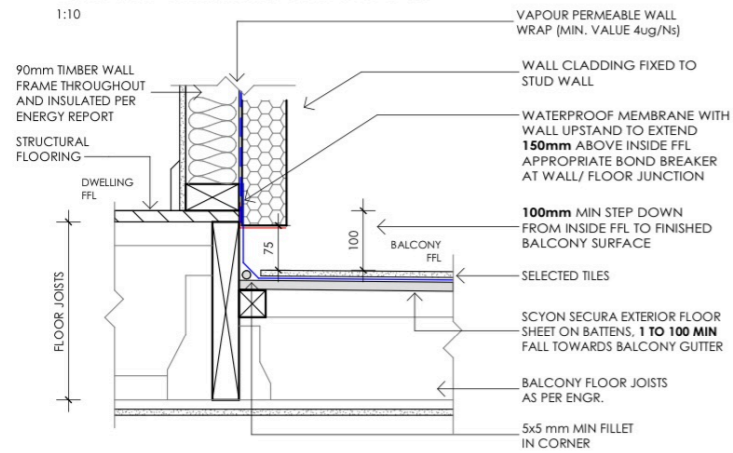
ENCLOSED AND UNENCLOSED SHOWER - AREA TO BE PROTECTED





BALCONY WATER PROOFING DETAIL

1:10

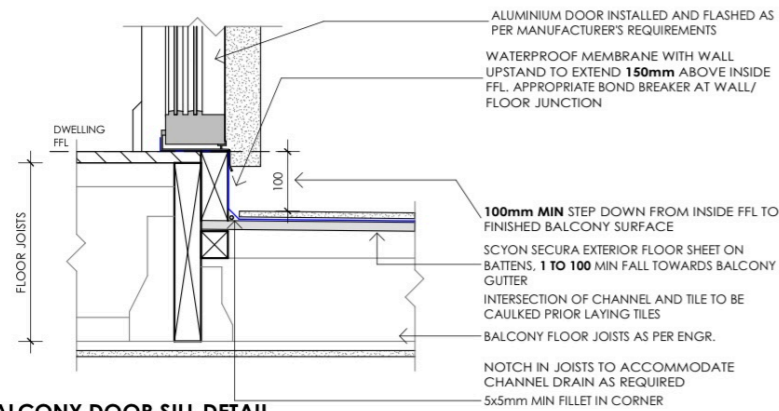


BALCONY WALL UPSTAND DETAIL

1:10

NOTE:
THE SYSTEM MUST BE FLASHED AND SEALED TO THE WALLS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION GUIDE. SURFACE WATER CONTROL IS ENABLED BY THE FALL OF THE BALCONY TO A CONTINUOUS CHANNEL DRAIN ALONG THE EDGE OF THE BALCONY. TWO ADDITIONAL OVERFLOW POINTS TO BE INSTALLED ON THE BALCONY SURFACE WATER TO DRAIN OVER THE BALCONY EDGE.

BALCONY DRAINAGE TO COMPLY WITH AS/NZS 3500.5 WITH SUFFICIENT CAPACITY TO COPE WITH A 100 YEAR STORM EVENT



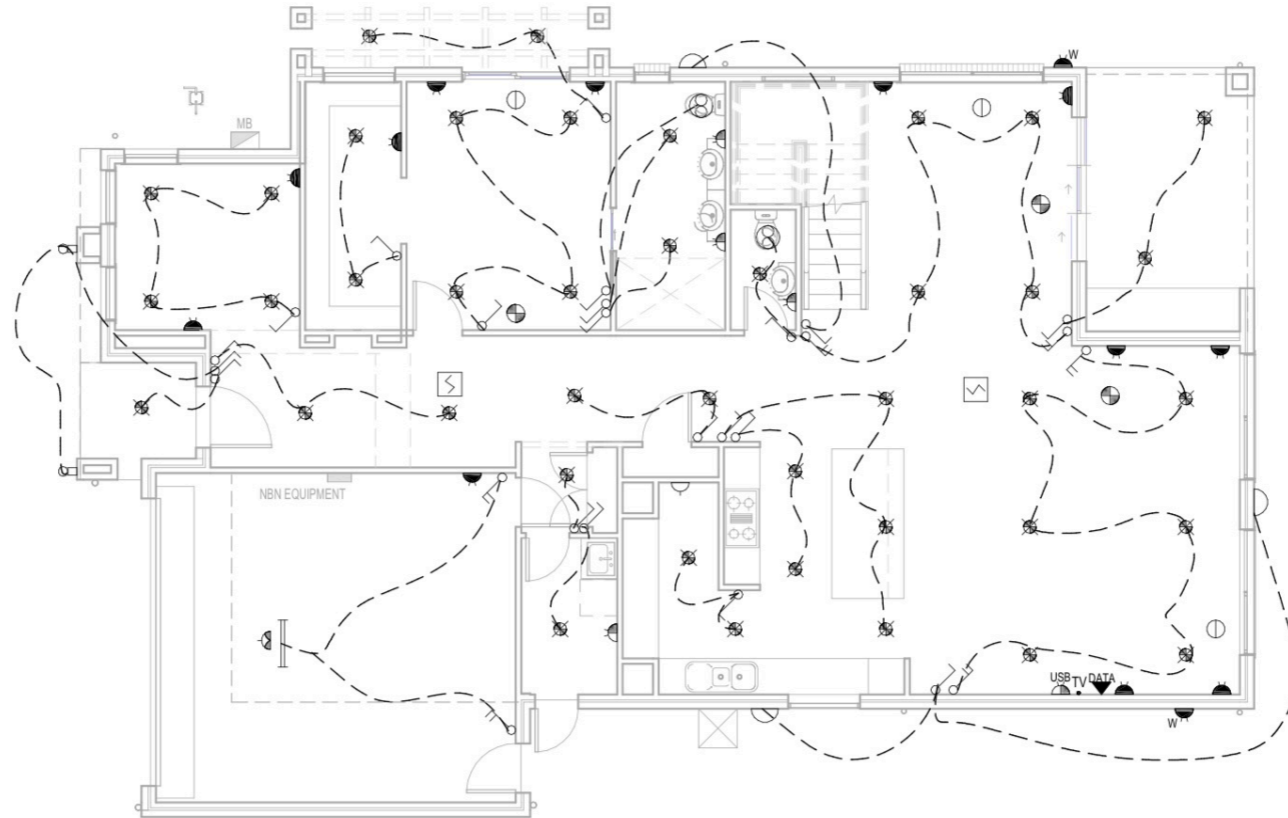
BALCONY DOOR SILL DETAIL

BALCONY

1 : 10

ELECTRICAL & GAS LEGEND

SINGLE GPO AT 1050	
DOUBLE GPO AT 300	
DOUBLE GPO + USB POINT AT 300	
DOUBLE GPO AT 1050, LAUNDRY DOUBLE GPO HEIGHT IS DICTATED BY PIPE LOCATIONS	
DOUBLE GPO + USB POINT AT 1050, LAUNDRY DOUBLE GPO HEIGHT IS DICTATED BY PIPE LOCATIONS	
SINGLE GPO (FRIDGE) AT 1800	
SINGLE GPO (DISHWASHER AND MICROWAVE) AT 650	
SINGLE GPO (GARAGE) TO CEILING FOR AUTOMATIC DOOR, SET MIN. 3.0m BACK FROM DOOR	
WEATHERPROOF DOUBLE GPO	
HOT PLATES (ELECTRIC / GAS) REFER SPECIFICATION WITH SINGLE GPO OVER FOR RANGEHOOD	
UNDER BENCH OVEN (ELECTRIC / GAS) REFER SPECIFICATION.	
GAS BAYONET FOR B.B.Q. HEATER WHERE SPECIFIED. REFER SPECIFICATION.	
TELEPHONE OUTLET	
COMPUTER / DATA OUTLET	
TELEVISION OUTLET AT 400	
EXHAUST FAN - TO DISCHARGE OUTSIDE, THROUGH BRICKWORK OR SOFFIT, VIA FLOOR JOISTS (USED AS PLENUM) OR DUCTED. PROVIDE VERMIN PROOF GRILLE TO OUTLET.	
CEILING FAN AS SPECIFIED	
CEILING FAN WITH LIGHT	
REFRIGERATED HEATING/COOLING OUTLET	
DOUBLE FLUORESCENT (GARAGE)	
SINGLE FLUORESCENT	
CIRCULAR FLUORESCENT (REFER SPECIFICATION)	
SELECTED DOWNLIGHT	
SELECTED LED DOWNLIGHT	
SELECTED LOW VOLTAGE DOWNLIGHT	
SELECTED BUNKER	
SELECTED PARAFLOOD	
SELECTED TRACK LIGHT	
SELECTED EXTERNAL WALL LIGHT	
SMOKE DETECTOR	
SELECT SKYLIGHT	
HOT WATER SYSTEM	
METER BOX (ELECTRICAL)	
METER BOX (GAS), TO BE INSTALLED ONLY WHERE SPECIFIED. REFER SPECIFICATION.	
NBN EXTERNAL 'PCD' BOX AND INTERNAL EQUIPMENT INSTALLATION. REFER NBN INSTALLATION GUIDE.	
INSTANTANEOUS GAS HOT WATER SYSTEM	
LIGHTS SWITCHED ONE WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
LIGHTS SWITCHED TWO WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
LIGHTS SWITCHED THREE WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
NOTE ELECTRIC METERBOARD, HOT WATER SYSTEM / BOOSTER & GAS METERBOARD, WHERE REQUIRED , SHALL BE LOCATED AND POSITIONED ON-SITE, RELATIVE TO THE POSITION OF THE INCOMING POWER AND SUPPLY GAS LINES. REFER SPECIFICATION.	

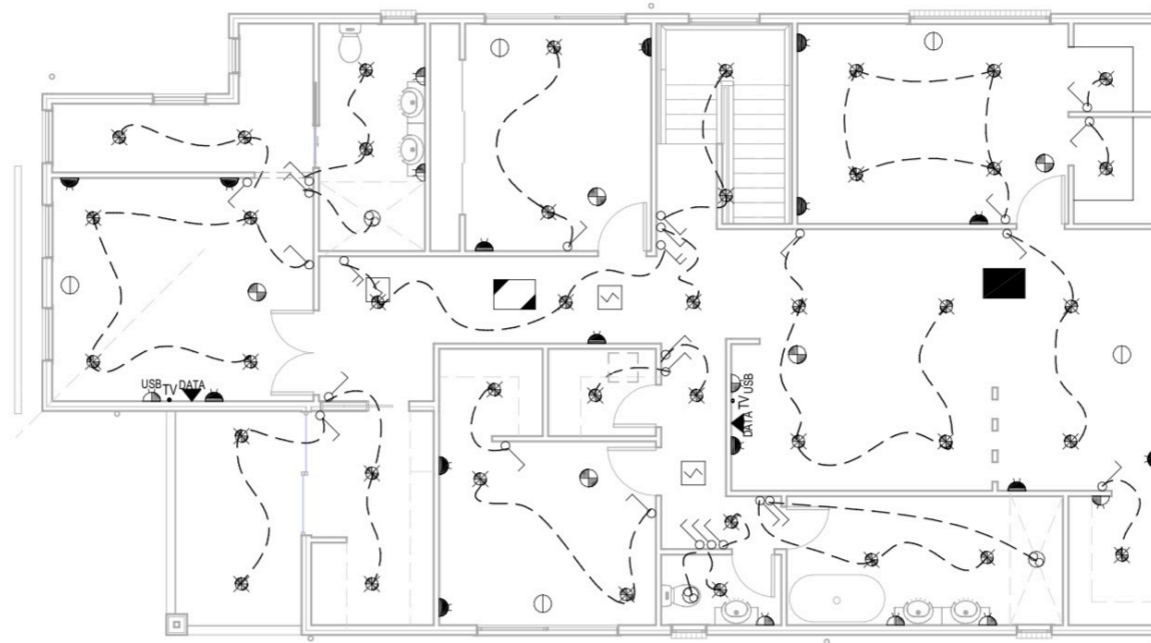


ELECTRICAL GROUND FLOOR
1 : 100

HEATING & COOLING LEGEND	
(TO BE READ IN CONJUNCTION WITH THE SPECIFICATION)	
HEATING UNIT, CEILING MOUNTED.	
HEATING OUTLET, CEILING FIXTURE.	
COOLING UNIT, CEILING MOUNTED.	
COOLING OUTLET, CEILING FIXTURE.	
RETURN AIR DUCT	
THERMOSTAT	

ARTIFICIAL LIGHTING WATTAGE (GROUND FLOOR PLAN)						
ROOM	AREA (sq.m)	ALLOWABLE WATTAGE PER (sq.m)	TOTAL ALLOWABLE WATTAGE	CURRENT TOTAL WATTAGE		
PORCH/ ALFRESCO	15	4 W/m ²	60	W	50	W
GARAGE	37	3 W/m ²	111	W	15	W
G.F. LIVING AREA	159	5 W/m ²	795	W	360	W

ELECTRICAL & GAS LEGEND	
SINGLE GPO AT 1050	
DOUBLE GPO AT 300	
DOUBLE GPO + USB POINT AT 300	
DOUBLE GPO AT 1050, LAUNDRY DOUBLE GPO HEIGHT IS DICTATED BY PIPE LOCATIONS	
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HOT PLATES (ELECTRIC / GAS) REFER SPECIFICATION, WITH SINGLE GPO OVER FOR RANGEHOOD	
UNDER BENCH OVEN (ELECTRIC / GAS) REFER SPECIFICATION.	
GAS BAYONET FOR B.B.Q./HEATER WHERE SPECIFIED, REFER SPECIFICATION.	
TELEPHONE OUTLET	
COMPUTER / DATA OUTLET	
TELEVISION OUTLET AT 400	
EXHAUST FAN - TO DISCHARGE OUTSIDE, THROUGH BRICKWORK OR SOFFIT, VIA FLOOR JOISTS (USED AS PLENUM) OR DUCTED. PROVIDE VERMIN PROOF GRILLE TO OUTLET.	
CEILING FAN AS SPECIFIED	
CEILING FAN WITH LIGHT	
REFRIGERATED HEATING/COOLING OUTLET	
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SINGLE FLUORESCENT	
CIRCULAR FLUORESCENT (REFER SPECIFICATION)	
SELECTED DOWNLIGHT	
SELECTED LED DOWNLIGHT	
SELECTED LOW VOLTAGE DOWNLIGHT	
SELECTED BUNKER	
SELECTED PARAFLOOD	
SELECTED TRACK LIGHT	
SELECTED EXTERNAL WALL LIGHT	
SMOKE DETECTOR	
SELECT SKYLIGHT	
HOT WATER SYSTEM	
METER BOX (ELECTRICAL)	
METER BOX (GAS) TO BE INSTALLED ONLY WHERE SPECIFIED, REFER SPECIFICATION.	
NBN EXTERNAL 'PCD' BOX AND INTERNAL EQUIPMENT INSTALLATION, REFER NBN INSTALLATION GUIDE.	
INSTANTANEOUS GAS HOT WATER SYSTEM	
LIGHTS SWITCHED ONE WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
LIGHTS SWITCHED TWO WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
LIGHTS SWITCHED THREE WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
NOTE ELECTRIC METERBOARD, HOT WATER SYSTEM / BOOSTER & GAS METERBOARD, WHERE REQUIRED , SHALL BE LOCATED AND POSITIONED ON-SITE, RELATIVE TO THE POSITION OF THE INCOMING POWER AND SUPPLY GAS LINES, REFER SPECIFICATION.	



ELECTRICAL FIRST FLOOR
1 : 100

ARTIFICIAL LIGHTING WATTAGE (FIRST FLOOR PLAN)						
ROOM	AREA (sq.m)	ALLOWABLE WATTAGE PER (sq.m)	TOTAL ALLOWABLE WATTAGE	CURRENT TOTAL WATTAGE		
BALCONY	9	4 W/m2	36	W	20	W
G.F. LIVING AREA	179	5 W/m2	895	W	402	W

Construction Drawings



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