

Construction Drawings

Proposed New Build

The client came to us with a new building project. After conducting a planning assessment with one of our certified town planners, it was determined that the construction of the new dwelling was possible. To proceed, we would need to obtain planning permission through the submission of a householder planning application. We then prepared the architect drawings, which were reviewed and approved by the client. Once the architectural design was approved, one of our certified town planners prepared a planning statement to support the case for why the council should grant planning permission.



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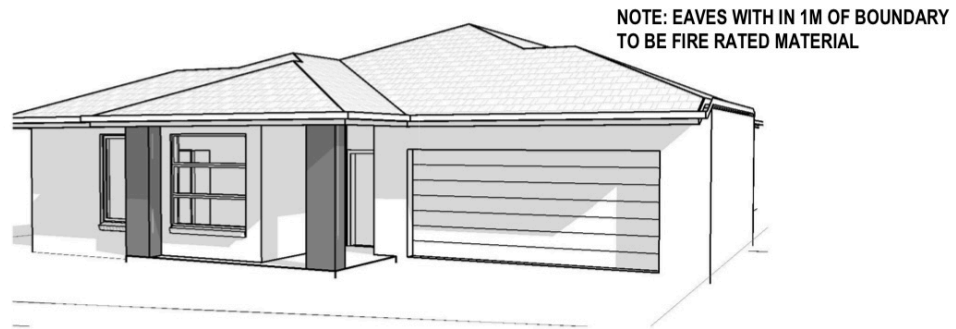
GENERAL NOTES

1. THE NATIONAL CONSTRUCTION CODE (N.C.C.) & RELEVANT AMENDMENTS AND UPDATES, INCLUDING THE STANDARDS ASSOCIATION OF AUST. (AS.) CODES SHALL BE THE MINIMUM STANDARDS FOR COMPLIANCE.
2. CHECK ALL DIMENSIONS OF SITE AND BUILDING(S) SETOUT PLANS AND CHECK AGAINST SURVEYORS SITE SETOUT. CLARIFY ANY DISCREPANCY TO NOTED DIMENSIONS OR OFFSETS PRIOR TO CONSTRUCTION OF ANY WORK. ENSURE SURVEYORS WORK RELATES TO CURRENT SITE FIELD WORK AND NOT COMPLIED VIDE TITLE.
3. NOTED DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS.
4. CHECK HYDRAULIC AND MECHANICAL PLANS FOR SETOUT AND SIZING OF SERVICE DUCT(S) WHERE APPLICABLE.
5. CO-ORDINATE ALL CONSULTANTS DOCUMENTS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE RELEVANT CONSULTANT(S) PRIOR TO THE CONSTRUCTION OF THAT PART OF THE WORKS.
6. CHECK ON SITE - OPENINGS BEFORE FABRICATION OF DOORS, WINDOWS & ANY OTHER FIXTURES. GIVEN SIZES ARE FOR QUOTATION PURPOSES ONLY AND MUST BE CONFIRMED ON SITE.
7. CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.
8. REFER SPECIFIC CONDITIONS OF BUILDING APPROVAL FOR ANY ADDITIONAL REQUIREMENTS.
9. ENSURE DOORS TO SANITARY COMPARTMENTS COMPLY WITH THE BUILDING CODE OF AUSTRALIA F2.5 AND HAVE EITHER :
(a) LIFT OFF HINGES FOR INWARD SWINGING DOORS or
(b) OUTWARD SWINGING DOORS.
10. ALL AREAS UNDER BUILDING WORK TO BE PROTECTED FROM TERMITE ATTACK IN ACCORDANCE WITH AN APPROVED METHOD UNDER AS.3660.1 (2000)
11. TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (N.C.C.), PLUS ALL AMENDMENTS, AND THE 'LIGHT TIMBER FRAMING CODE' AS.1684, PART 2 FOR NON-CYCLONIC AREAS AND AS.1684 PART 1 FOR CYCLONIC AREAS.
12. STAIR CONSTRUCTION TO COMPLY WITH NCC 3.9.1 STAIR CONSTRUCTION. FOR STAIRS OTHER THAN SPIRAL STAIRS, RISERS SHALL EQUAL, 190mm MAX & 115mm MIN. GOINGS SHALL EQUAL 355mm MAX & 240mm MIN. ALL STAIRS SHALL COMPLY WITH (2R+G). 2R+G SHALL EQUAL 500mm MIN. & 700mm MAX. BALUSTRADES AND HANDRAIL TO COMPLY WITH NCC 3.9.2.
13. FOR ALL "H" AND "E" CLASS SITES, ALL PLUMBING WORKS SHALL BE INSTALLED TO ACCOMMODATE THE POTENTIAL MOVEMENT OF THE SOIL, REFER TO SOIL REPORT FOR CLASSIFICATION. ALLOW FOR UP TO 75mm EXPANSION OR CONTRACTION.
14. SMOKE ALARMS - N.C.C VOLUME TWO PART 3.7.2.2 (d) - Smoke alarms must be - interconnected where there is more than one alarm.
15. PROTECTION OF OPENABLE WINDOWS - NCC 3.9.2.5 - If the window in a bedroom is 2m or more above the surface beneath the opening portion of the window must be protected with:
(A) a device capable of restricting the window opening; or
(B) a screen with secure fittings.

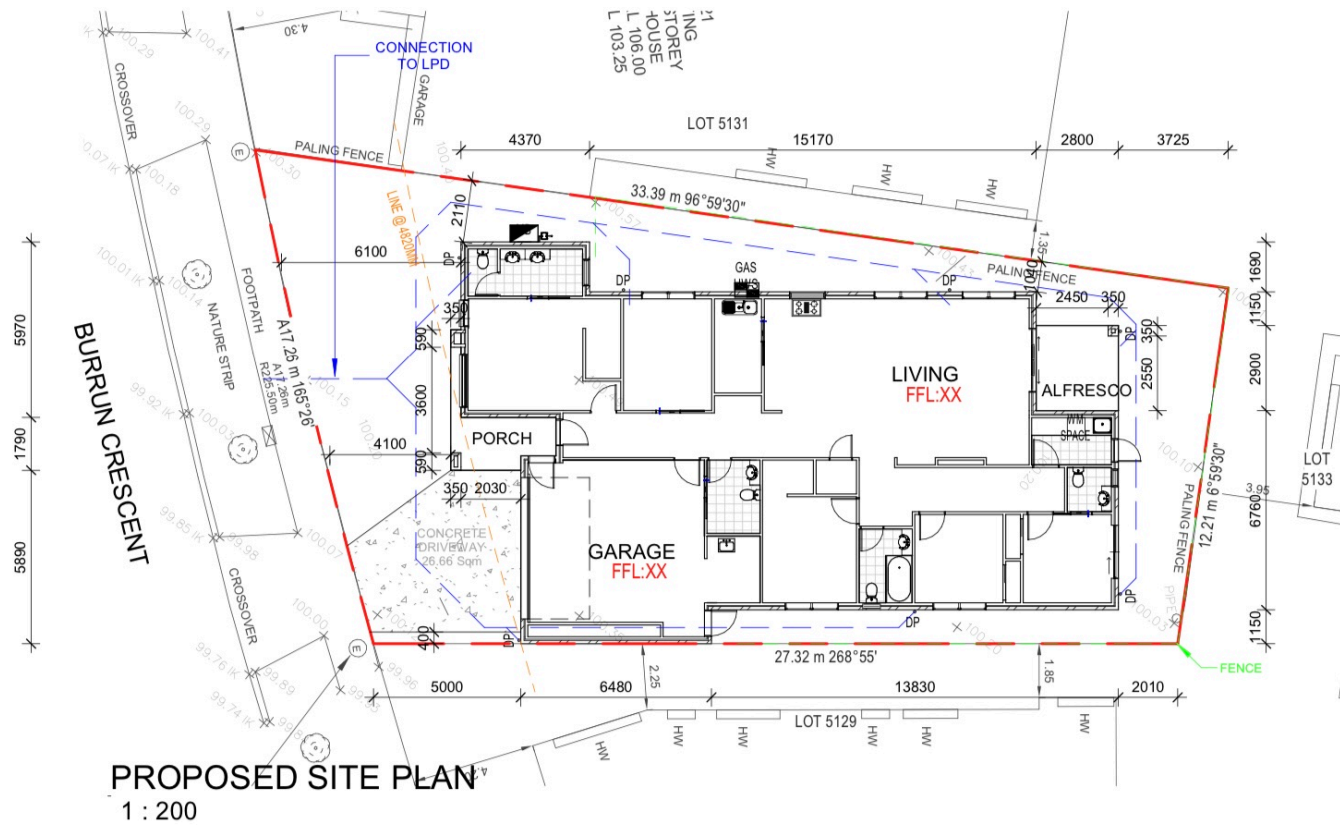
ENSURE DESIGN FOR ALL MASONRY VENEER WALLS TO COMPLY WITH PART 3.3.5

GARAGE EAVE FACING WITHIN 900MM FROM BOUNDARY TO BE PROTECTED WITH FRL 60/60/60 CONSTRUCTION.

EXHAUST FANS WILL EITHER DISCHARGE TO OUTSIDE AIR OR WITHIN ROOF SPACE. IF WITHIN THE ROOF SPACE, CONDENSATION MANAGEMENT PART 3.8.7 IS REQUIRED AND A 'WHIRLY BIRD' IS REQUIRED TO THE ROOF



FRONT VIEW.



G.F AREA SUMMARY

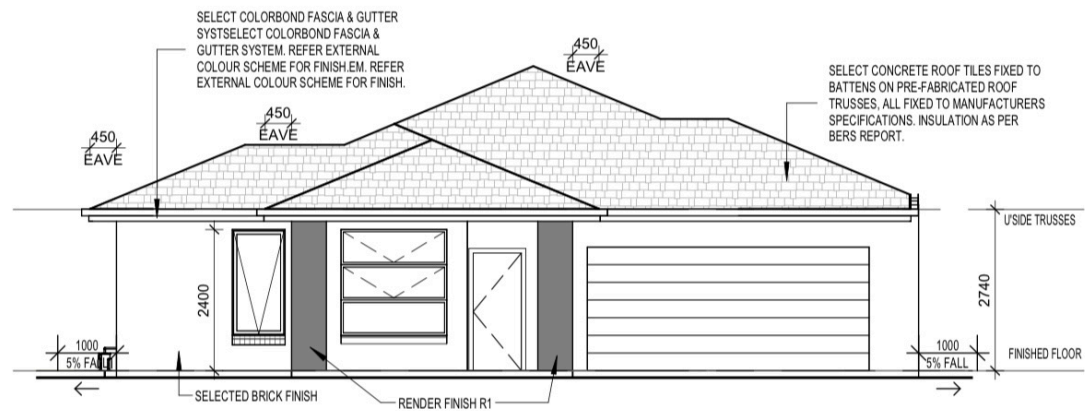
Name	Area
ALFRESCO	8 m ²
GARAGE	40 m ²
LIVING	190 m ²
PORCH	7 m ²
GRAND TOTAL	245 m²

LOT SIZE	435 sq.m
SITE COVERAGE	56.32%
SQUARE	26.37
PERMEABILITY	163.34sqm 37.54%

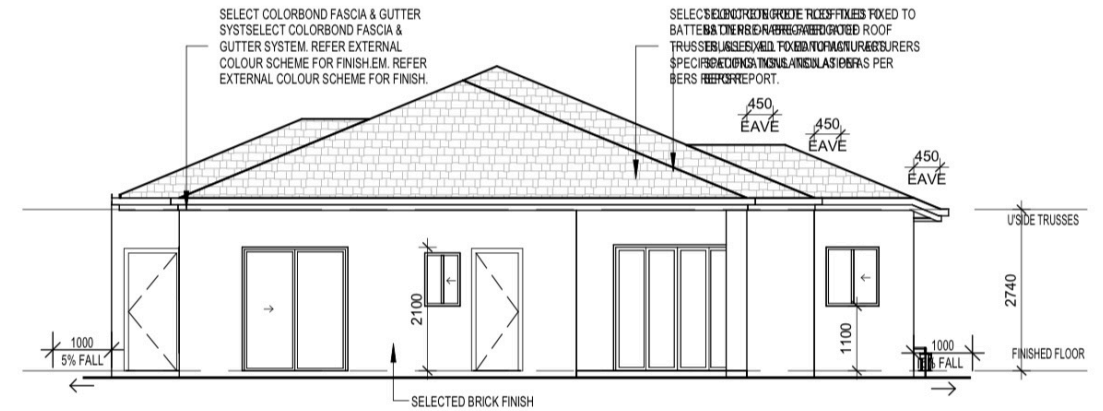
NOTE: SIDE FENCING AND REAR FENCING MUST BE TIMBER PALING 1.8 METRES IN HEIGHT ABOVE THE NATURAL GROUND LEVEL AS PER DEVELOPER GUIDELINES

NOTE: PROVIDE CONNECTION TO RECYCLE WATER SYSTEM IF IT IS A REQUIREMENT BY WATER AUTHORITY

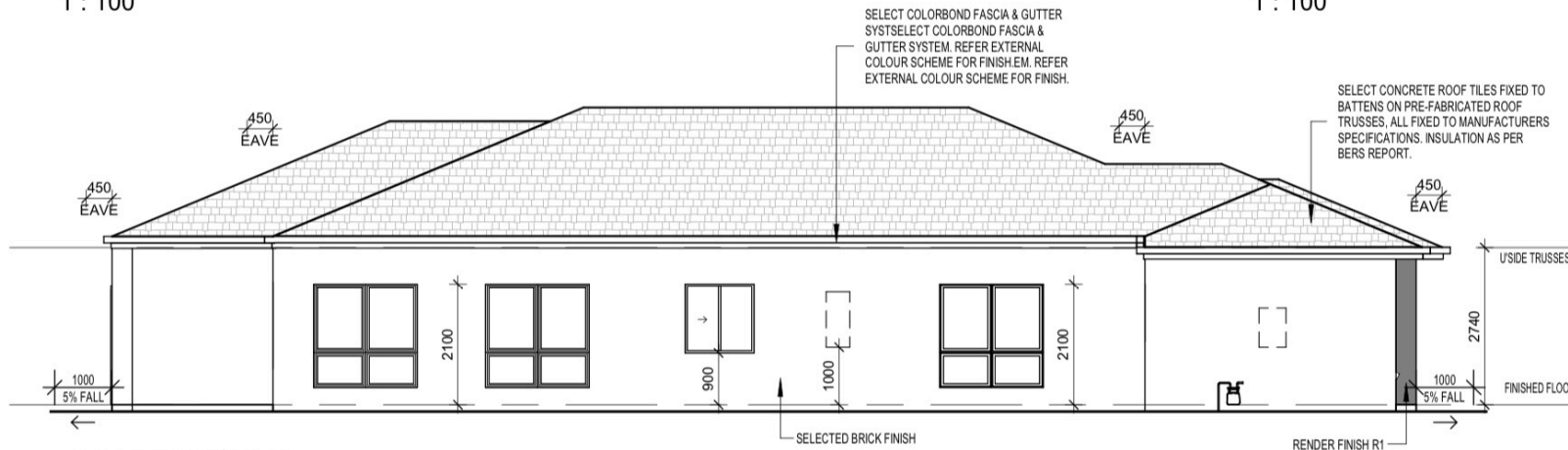
Lot 5130, No 23 Burrum Crescent, Epping VIC 3076



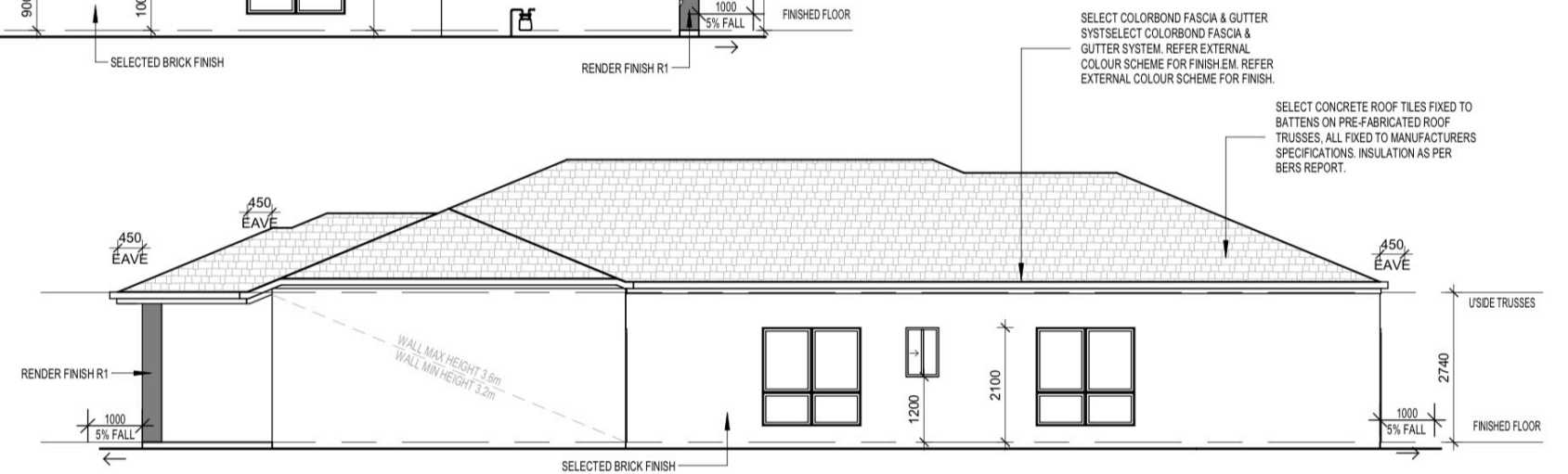
ELEVATION 1
1 : 100



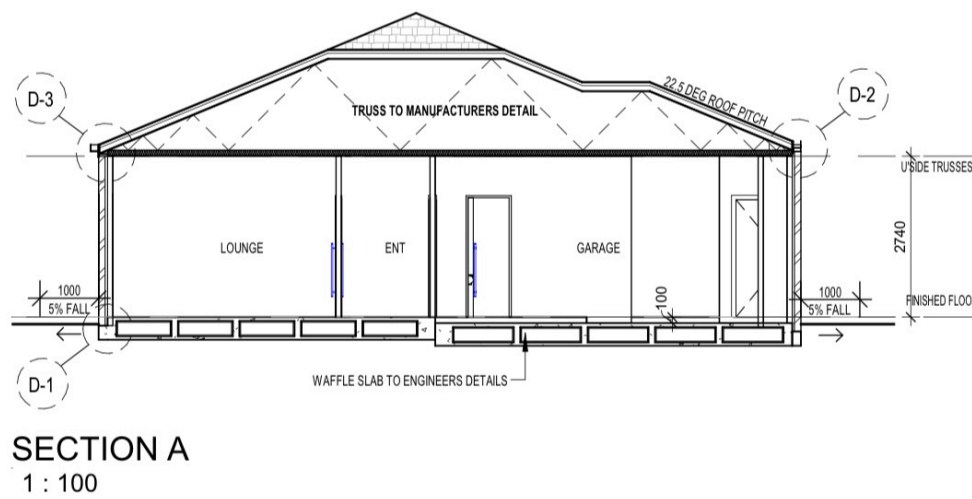
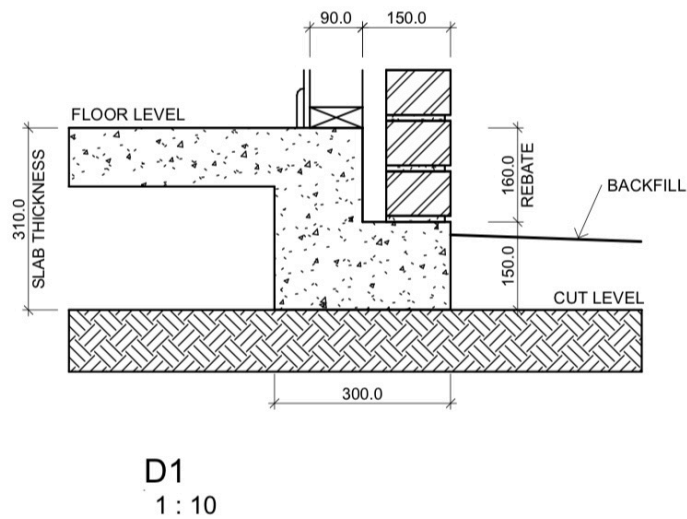
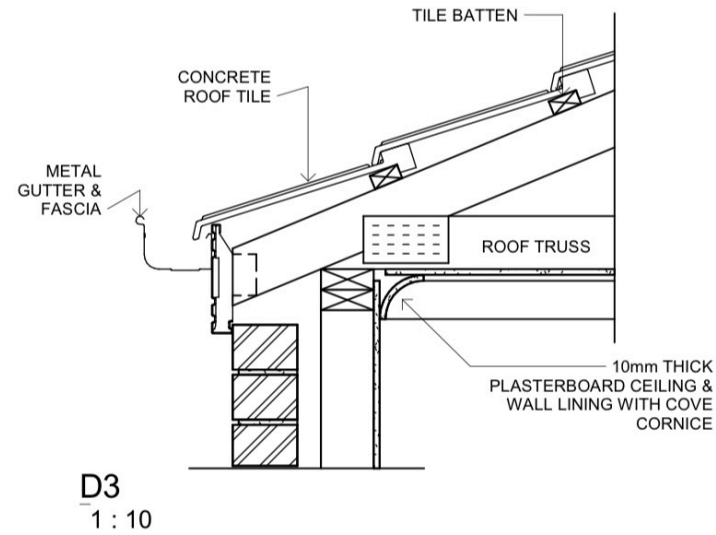
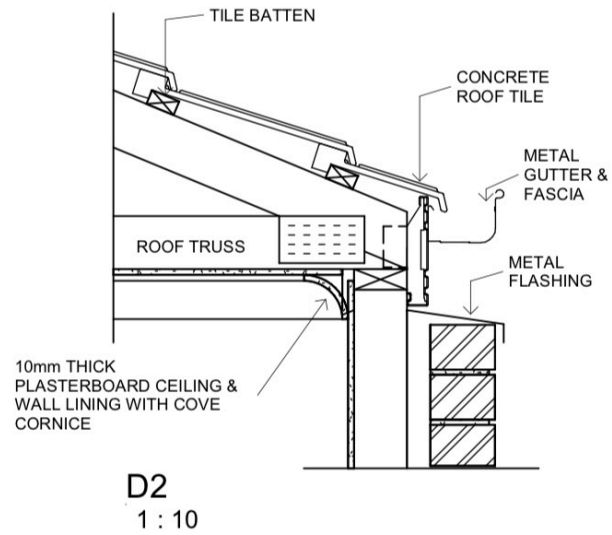
ELEVATION 3
1 : 100



ELEVATION 2
1 : 100



ELEVATION 4
1 : 100



NOTES:
 - GUTTERS AND DOWNPIPES SHALL COMPLY WITH B.C.A 3.5.2 "GUTTERS AND DOWNPIPES".
 - ROOF CLADDING TO COMPLY WITH B.C.A 3.5.1.

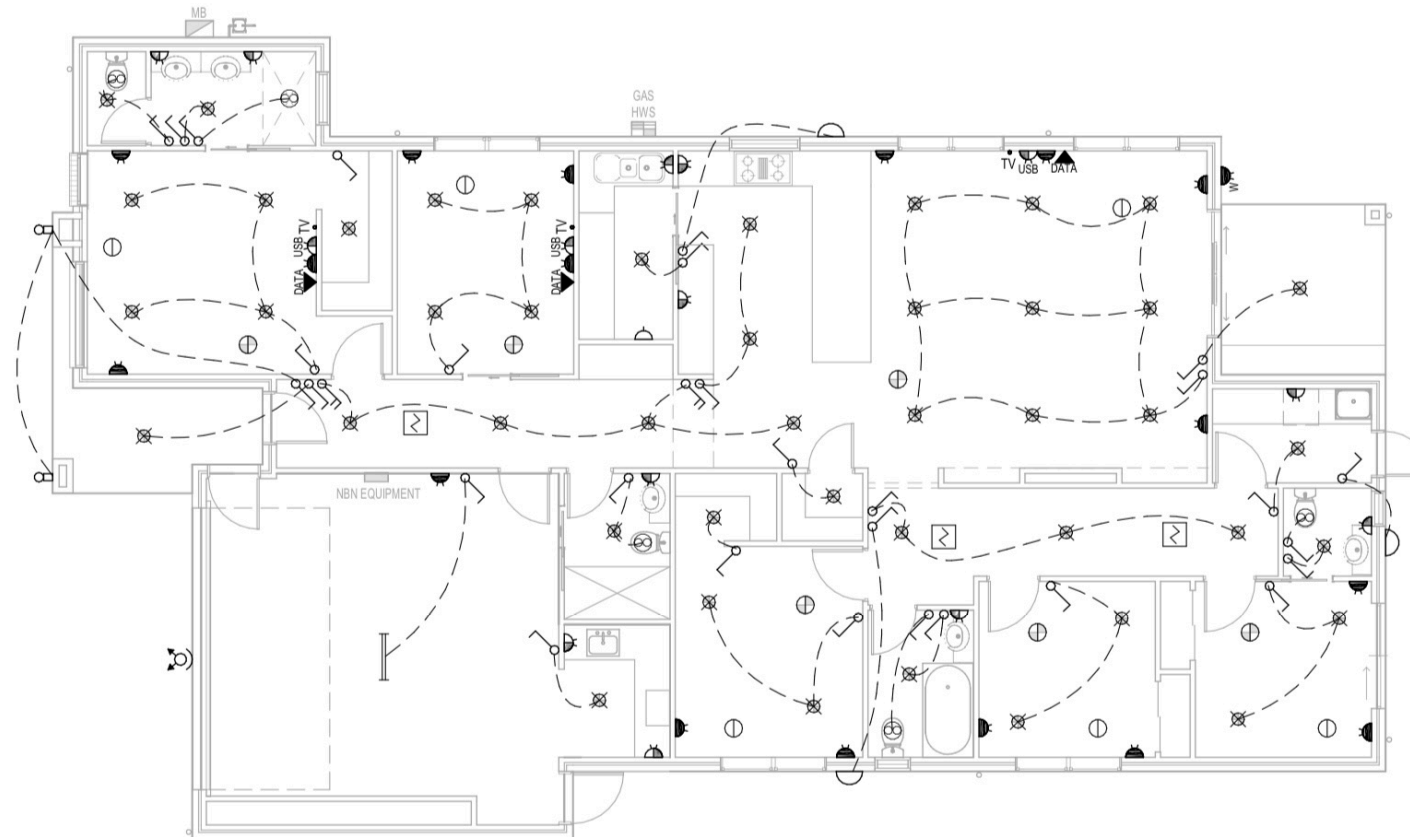
NOTE:
 FOR ALL "H" AND "E" CLASS SITES, ALL PLUMBING WORKS SHALL BE INSTALLED TO ACCOMMODATE THE POTENTIAL MOVEMENT OF THE SOIL, REFER TO THE SOIL REPORT FOR SOIL CLASSIFICATION. ALLOW FOR UP TO 75mm EXPANSION OR CONTRACTION.

TERMITE TREATMENT
 TERMITE TREATMENT TO BCA & AS 3660.1, REFER TO SPECIFICATION.

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ELECTRICAL & GAS LEGEND	
SINGLE GPO AT 1050	
DOUBLE GPO AT 300	
DOUBLE GPO + USB POINT AT 300	
DOUBLE GPO AT 1050, LAUNDRY DOUBLE GPO HEIGHT IS DICTATED BY PIPE LOCATIONS	
DOUBLE GPO + USB POINT AT 1050, LAUNDRY DOUBLE GPO HEIGHT IS DICTATED BY PIPE LOCATIONS	
SINGLE GPO (FRIDGE) AT 1800	
SINGLE GPO (DISHWASHER AND MICROWAVE) AT 650	
SINGLE GPO (GARAGE) TO CEILING FOR AUTOMATIC DOOR, SET MIN. 3.0m BACK FROM DOOR	
WEATHERPROOF DOUBLE GPO	
HOT PLATES (ELECTRIC / GAS) REFER SPECIFICATION WITH SINGLE GPO OVER FOR RANGEHOOD	
UNDER BENCH OVEN (ELECTRIC / GAS) REFER SPECIFICATION.	
GAS BAYONET FOR B.B.Q./HEATER WHERE SPECIFIED. REFER SPECIFICATION.	
TELEPHONE OUTLET	
COMPUTER / DATA OUTLET	
TELEVISION OUTLET AT 400	
EXHAUST FAN - TO DISCHARGE OUTSIDE, THROUGH BRICKWORK OR SOFFIT, VIA FLOOR JOISTS (USED AS PLENUM) OR DUCTED. PROVIDE VERMIN PROOF GRILLE TO OUTLET.	
CEILING FAN AS SPECIFIED	
CEILING FAN WITH LIGHT	
REFRIGERATED HEATING/COOLING OUTLET	
DOUBLE FLUORESCENT (GARAGE)	
SINGLE FLUORESCENT	
CIRCULAR FLUORESCENT (REFER SPECIFICATION)	
SELECTED DOWNLIGHT	
SELECTED LED DOWNLIGHT	
SELECTED LOW VOLTAGE DOWNLIGHT	
SELECTED BUNKER	
SELECTED PARAFLOOD	
SELECTED TRACK LIGHT	
SELECTED EXTERNAL WALL LIGHT	
SMOKE DETECTOR	
SELECT SKYLIGHT	
HOT WATER SYSTEM	
METER BOX (ELECTRICAL)	
METER BOX (GAS), TO BE INSTALLED ONLY WHERE SPECIFIED. REFER SPECIFICATION.	
NBN EXTERNAL 'POD' BOX AND INTERNAL EQUIPMENT INSTALLATION. REFER NBN INSTALLATION GUIDE.	
INSTANTANEOUS GAS HOT WATER SYSTEM	
LIGHTS SWITCHED ONE WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
LIGHTS SWITCHED TWO WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
LIGHTS SWITCHED THREE WAY (REFERS TO ACTUAL NUMBER OF LIGHTS SWITCHED) WALL PLATE, 1050 ABOVE F.F.L.	
NOTE ELECTRIC METERBOARD, HOT WATER SYSTEM / BOOSTER & GAS METERBOARD, WHERE REQUIRED , SHALL BE LOCATED AND POSITIONED ON-SITE, RELATIVE TO THE POSITION OF THE INCOMING POWER AND SUPPLY GAS LINES. REFER SPECIFICATION.	

NOTE:
PROVIDE REFRIGERATED HEATING & COOLING WITH ONE ZONE IN GARAGE



ARTIFICIAL LIGHTING WATTAGE							
ROOM	AREA (sq.m)	ALLOWABLE WATTAGE PER (sq.m)	TOTAL ALLOWABLE WATTAGE	CURRENT TOTAL WATTAGE			
PORCH / ALFRESCO	15	4 W/m ²	60	W	12	W	
LIVING AREA	190	5 W/m ²	950	W	258	W	
GARAGE	40	3 W/m ²	120	W	22	W	
TOTAL	245				292	W	

HEATING & COOLING LEGEND	
(TO BE READ IN CONJUNCTION WITH THE SPECIFICATION)	
HEATING UNIT, CEILING MOUNTED.	
HEATING OUTLET, CEILING FIXTURE.	
COOLING UNIT, CEILING MOUNTED.	
COOLING OUTLET, CEILING FIXTURE.	
RETURN AIR DUCT	R-A
THERMOSTAT	

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